

PROJECT TITLE

**UNIVERSITY OF SOUTH CAROLINA MEN'S BASKETBALL OFFICE RENOVATION**

ASSEMBLY STREET

BID SET

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REVISIONS	
NO	REVISION

SHEET INFORMATION	
Date	JUNE 18, 2012
Project No.	12.130.02
Scale	As indicated
Drawn By	JRF
Checked By	BLH

**DEMOLITION AND RENOVATION PLANS**

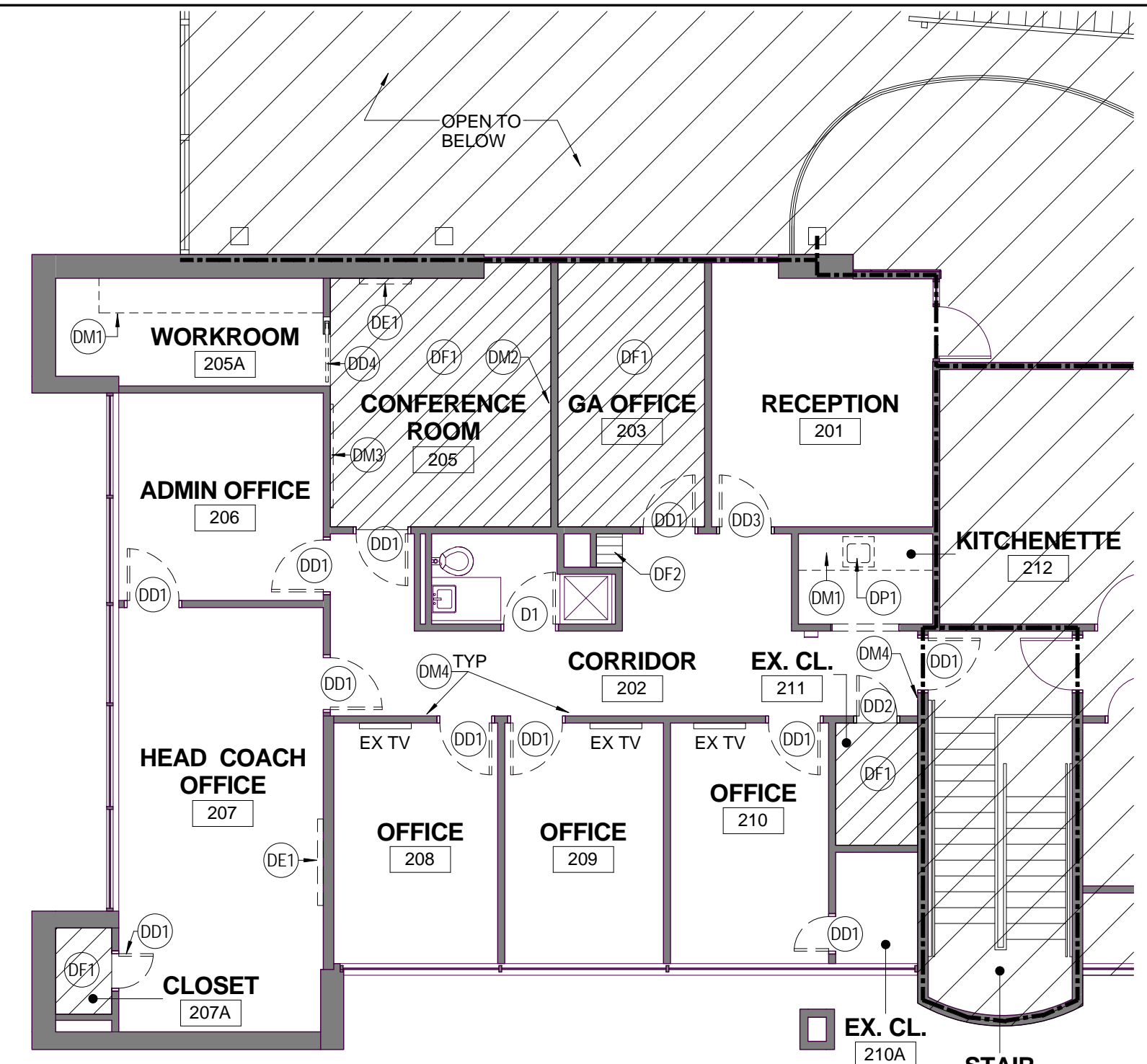
SHEET NO. **A1**

**LEGEND**

- EXISTING PARTITION TO REMAIN
- NEW PARTITION AS INDICATED
- EX. FEC EXISTING FIRE EXTINGUISHER AND SURFACE MOUNTED CABINET
- EX. TV EXISTING TV TO REMAIN
- EX. TV (E1, M1) EXISTING TV TO BE RELOCATED BY OWNER REFER TO RENOVATION NOTES FOR E1 & W1
- (DF1) INDICATES ROOM WHERE EXISTING CARPET IS TO BE REMOVED (BASE BID). NEW CARPET AS SCHEDULED (ALTERNATE NO. 1)

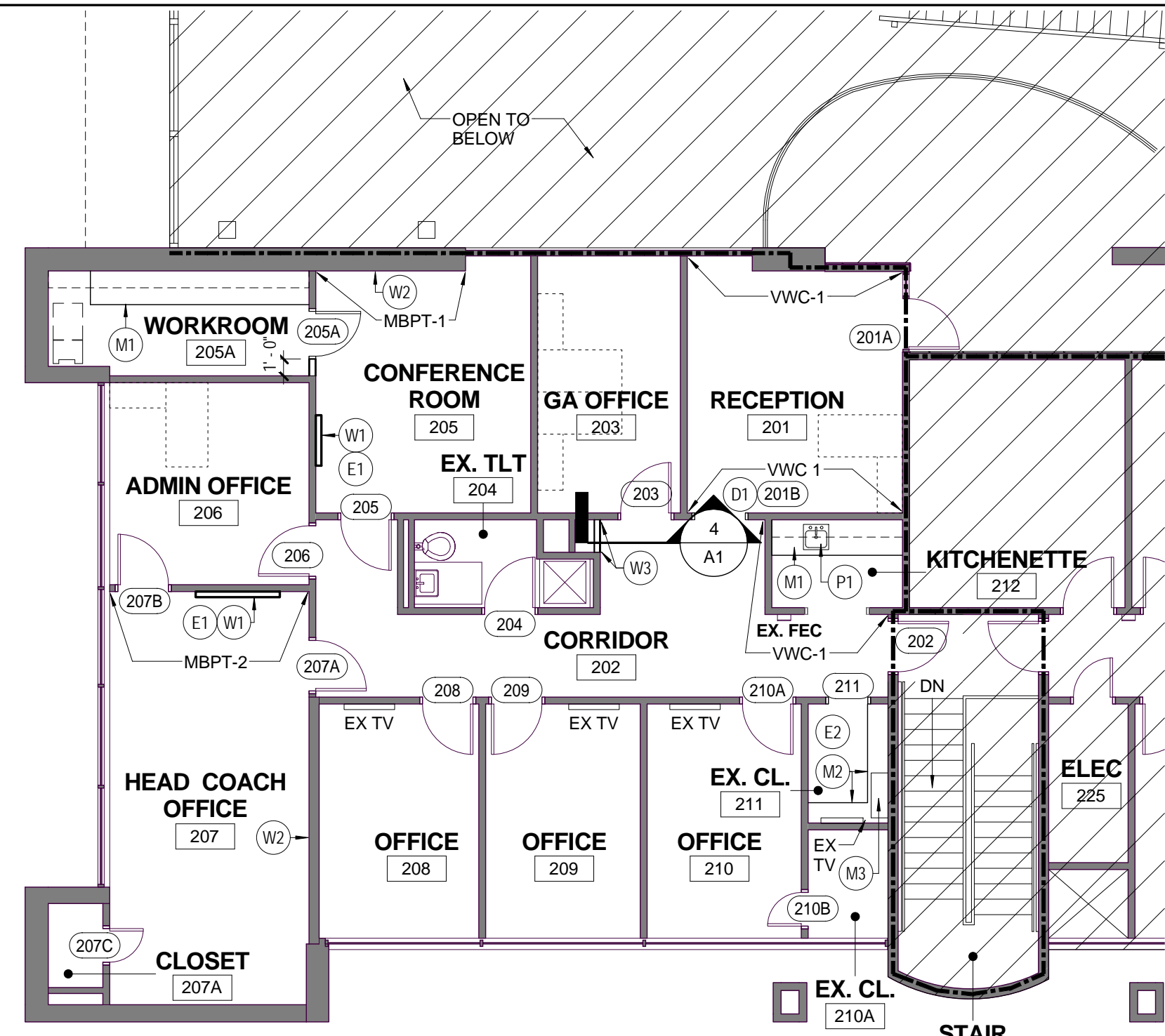
**GENERAL DEMOLITION AND RENOVATION NOTES**

- A. EXISTING CONDITIONS ILLUSTRATED AS OF MAY, 2012.
- B. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS FOR SIZES, QUANTITIES, AND LOCATIONS.
- C. ALL EXISTING ITEMS TO REMAIN SHALL BE PROTECTED DURING DEMOLITION AND NEW CONSTRUCTION.
- D. IN AREAS OF WORK, ALL EXISTING WALLS TO REMAIN WHERE OUTLETS, ETC. ARE REMOVED, PATCH AND REPAIR WALL TO MATCH EXISTING WALL TEXTURE. PREPARE WALL TO RECEIVE NEW FINISHES.
- E. ALL LOOSE ITEMS (ARTWORK, FRAMED PICTURES, ETC.) ON WALL WILL BE REMOVED BY OWNER. FIXED ITEMS ON WALLS WILL REMAIN IN PLACE DURING CONSTRUCTION. CONTRACTOR SHALL REMOVE ALL EXISTING WALL SIGNAGE ADJACENT TO DOORS AND TURN OVER TO OWNER.
- F. ALL EXISTING WALLS SHALL BE REPAINTED AS SCHEDULED. CONTRACTOR RESPONSIBLE FOR PREPARING WALLS AND MINOR PATCHING (IN ADDITION TO SPECIFIC PATCHING AS NOTED). ALL EXISTING DOOR FRAMES SHALL BE REPAINTED. PREPARE EXISTING FRAMES PRIOR TO PAINTING.



**1 DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

- (DD1) EXISTING DOOR TO BE REMOVED FOR DOOR REPLACEMENT. ASSOCIATED HARDWARE TO BE CLEANED & RE-INSTALLED.
- (DD2) REMOVE EXISTING DOOR IN ITS ENTIRETY (INCLUDING ALL ASSOCIATED HARDWARE). CONTRACTOR SHALL PATCH AND RE-PAINT FRAME AS SCHEDULED. WHERE EXISTING WALL STOP HAS BEEN REMOVED, PATCH WALL TO MATCH EXISTING.
- (DD3) REMOVE EXISTING DOOR AND FRAME IN ITS ENTIRETY (INCLUDING ALL ASSOCIATED HARDWARE) FOR NEW CASED OPENING. SEE RENOVATION PLAN AND DETAILS.
- (DD4) REMOVE EXISTING POCKET DOOR & DOOR HARDWARE IN THEIR ENTIRETY FOR NEW SWING DOOR. SEE RENOVATION PLANS & DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- (DF1) REMOVE ALL EXISTING CARPET AND WALL BASE IN THIS ROOM, INCLUDING ALL ASSOCIATED MASTIC AND RESIDUE IN THEIR ENTIRETY. PREPARE SURFACES AS REQ'D TO RECEIVE NEW FLOORING AND WALL BASE AS SCHEDULED.
- (DF2) REMOVE PORTION OF EXISTING HARDWOOD FLOOR THAT WILL BE CONCEALED BY WALL INFILL. SEE RENOVATION PLAN FOR ADDITION INFORMATION.
- (DM1) REMOVE EXISTING COUNTERTOP, BACKSPLASH & SIDESPLASHES FOR NEW COUNTERTOP AS SCHEDULED.
- (DM2) REMOVE EXISTING SIGN & PATCH WALL TO MATCH EXISTING.
- (DM3) REMOVE EXISTING MARKERBOARD & PATCH WALL TO MATCH EXISTING.
- (DM4) REMOVE ALL EXISTING ROOM SIGNS (16+- TOTAL) ADJACENT TO ALL EXISTING DOORS AND TURN OVER TO OWNER. PATCH WALL TO MATCH EXISTING.
- (DP1) REMOVE EXISTING SINK & ASSOCIATED PLUMBING LINES, FAUCETS, ETC. AS REQUIRED FOR COUNTERTOP REPLACEMENT.
- (E1) REMOVE EXISTING WALL MOUNTED TV AND BOX. PATCH WALL TO MATCH EXISTING. EXISTING TV & BOX TO BE RELOCATED AS SHOWN ON RENOVATION PLAN. OWNER TO RELOCATE TV & EQUIPMENT.

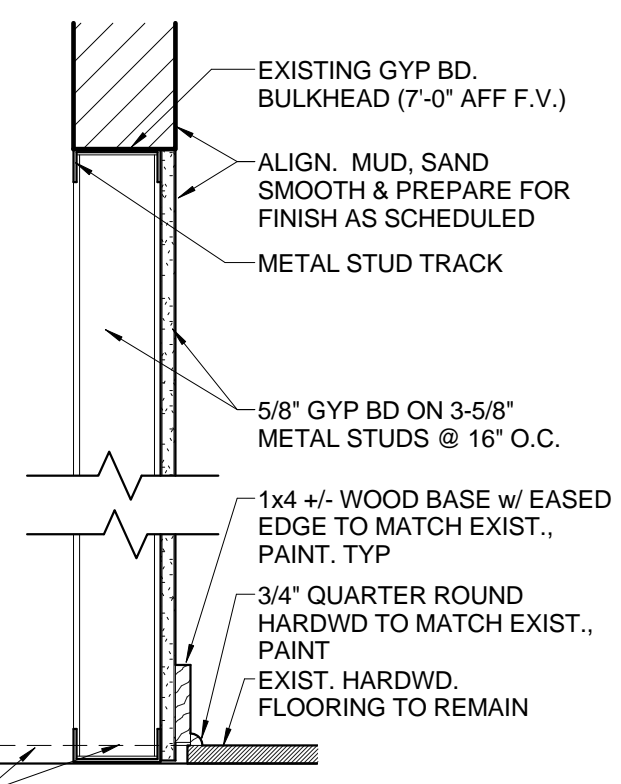


**2 RENOVATION PLAN**  
SCALE: 1/8" = 1'-0"

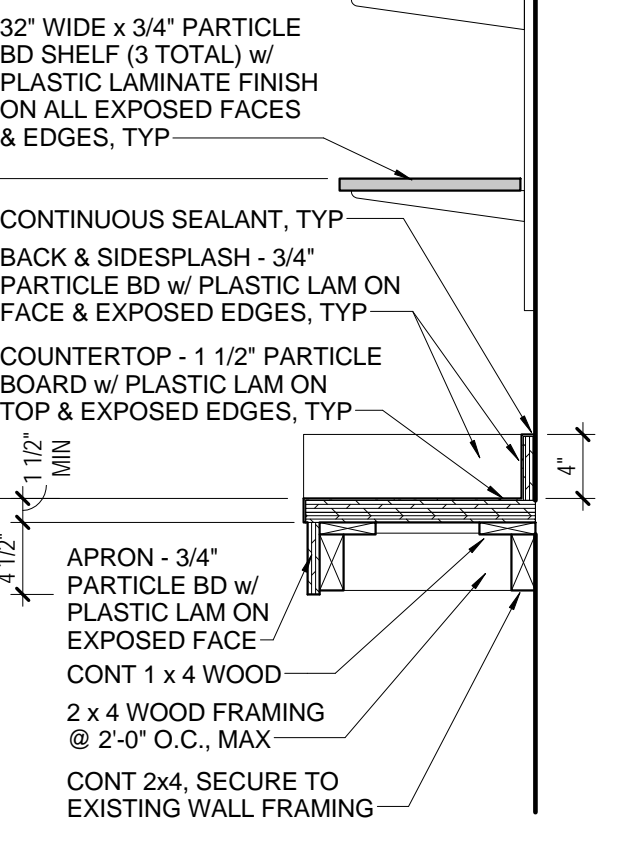
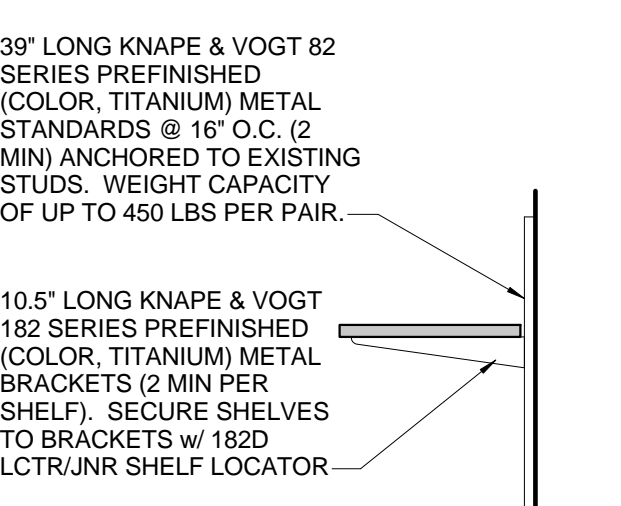
- (D1) PROVIDE CASED OPENING WITH WOOD TRIM, PAINTED TO MATCH ADJACENT WALL. CASED OPENING TO REMAIN THE SAME SIZE. WHERE EXISTING WALL STOP HAS BEEN REMOVED, PATCH WALL TO MATCH EXISTING. SEE DOOR DETAIL AS SCHEDULED.
- (M1) NEW COUNTERTOP, BACKSPLASH & SIDESPLASH REPLACEMENT. BASE BID: PLASTIC LAMINATE ON 2 LAYERS 3/4" THK EXTERIOR PLYWD COUNTERTOP AND ON 4" HIGH x 3/4" EXTERIOR PLYWD BACKSPLASH AND SIDESPLASHES. FIELD VERIFY EXISTING DIMENSIONS. REFER TO BASE BID & ALTERNATE NO. 1 FOR SCOPE OF WORK ON SHT T1.1.
- (M2) NEW L-SHAPED 14 1/2" DEEP COUNTERTOP w/ PLASTIC LAMINATE FINISH AS SCHEDULED.
- (M3) NEW 12" DEEP x 32" WIDE x 3/4" PARTICLE BOARD SHELVES w/ PLASTIC LAMINATE (AS SCHEDULED) ON ALL EDGES & FACES. PROVIDE 3 SETS OF SHELVES SECURED TO ADJUSTABLE BRACKETS. PROVIDE HEAVY DUTY STANDARDS SECURED TO EXISTING WALL FRAMING.
- (W1) REMOVE PORTION OF EXISTING GYPSUM BOARD FOR TV BOX RELOCATION. PROVIDE ADDITIONAL METAL STUD FRAMING FOR TV BOX AND FIRE RETARDANT TREATED WD BLOCKING FOR TV MOUNT SUPPORT. PATCH WALL TO MATCH EXISTING.
- (W2) PATCH EXISTING WALL WHERE EXISTING TV BOX HAS BEEN REMOVED.
- (W3) INFILL WALL w/ 3 5/8" METAL STUDS @ 16" O.C. w/ 5/8" GYP BD ON ON SIDE. WALL TO EXTEND EXISTING BULKHEAD.
- (P1) RE-INSTALL EXISTING SINK, FAUCET, PLUMBING LINES
- (E1) RELOCATE EXISTING TV & BOX. SEE ELECTRICAL DWGS.
- (E2) REPLACE LIGHT FIXTURE. SEE ELECTRICAL DWGS.

**FLOOR PLAN NOTES**

1. ALL GYPSUM BOARD CONSTRUCTION SHALL BE SMOOTH AND FREE FROM ABRASIONS, TOOL MARKS, ETC. ON ALL EXPOSED SURFACES. ALL EXPOSED GYPSUM BOARD TO HAVE LEVEL 4 FINISH. WALLS SCHEDULED TO RECEIVE MARKERBOARD CLEAR WRITE AND ERASE FINISH TO HAVE A LEVEL 5 FINISH.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS. NOTIFY DESIGN TEAM OF ANY DISCREPANCIES FOUND DURING SITE SURVEY.
3. WHERE OVERHEAD CABINETS, SHELVING, COUNTERS, ETC. ARE TO BE INSTALLED, CONCEALED 16 GA. METAL BACKING IS TO BE PROVIDED INSIDE THE SUPPORTING PARTITION UNLESS NOTED OTHERWISE. BACKING AND FASTENERS ARE TO BE PROVIDED TO SUPPORT A MINIMUM OF 80 LBS. PER LINEAR FT. OF SHELVING OR COUNTER.
4. ALL CONCEALED WOOD BLOCKING OR BRACING REQUIRED FOR CONSTRUCTION OF THIS PROJECT IS TO BE TREATED FIRE RETARDANT LUMBER.



**4 DETAIL AT WALL INFILL**  
SCALE: 1 1/2" = 1'-0"



**3 SECTION AT COUNTER**  
SCALE: 1" = 1'-0"

DOOR SCHEDULE									
DOOR NO	WIDTH	HEIGHT	TYPE	FRAME	HEAD	JAMB	SILL	RATING	REMARKS
201A	3'-0"	7'-0"	EXIST	EXIST	-	-	-	1 HR	NO WORK
201B	3'-0"	7'-0"	-	WOOD	HG-1	JG-1	-	-	4, 5
202	3'-0"	7'-0"	D3	EXIST	-	-	-	3/4 HR	1, 3, 3, 6
203	3'-0"	7'-0"	D2A	EXIST	-	-	EXIST WD	-	3, 6
204	3'-0"	7'-0"	D1	EXIST	-	-	-	-	3, 6
205	3'-0"	7'-0"	D2	EXIST	-	-	EXIST WD	-	3, 6
205A	2'-8"	7'-0"	D2B	F1	HG2	HG2	-	-	2, 6
206	3'-0"	7'-0"	D2A	EXIST	-	-	-	-	3, 6
207A	3'-0"	7'-0"	D2A	EXIST	-	-	-	-	3, 6
207B	3'-0"	7'-0"	D2	EXIST	-	-	-	-	3, 6
207C	2'-0"	7'-0"	D1	EXIST	-	-	EXIST WD	-	3, 6
208	3'-0"	7'-0"	D2A	EXIST	-	-	-	-	3, 6
209	3'-0"	7'-0"	D2A	EXIST	-	-	-	-	3, 6
210A	2'-0"	7'-0"	D2A	EXIST	-	-	-	-	3, 6
210B	2'-0"	7'-0"	D1	EXIST	-	-	-	-	3, 6
211	2'-4"	7'-0"	-	EXIST	-	-	EXIST WD	-	4, 6

ROOM FINISH SCHEDULE												
ROOM NO	ROOM NAME	FLOOR			WALLS			MILLWORK		TRIM	CEILING	REMARKS
		FINISH	BASE	NORTH	EAST	SOUTH	EAST	CABINETS	COUNTERTOP			
201	RECEPTION	EXIST	PT-2	VWC-1	PT-1	VWC-1	PT-1	-	-	PT-2	EXIST	-
202	CORRIDOR	EXIST	PT-2	PT-1	VWC-1	PT-1	PT-1	-	-	PT-2	EXIST	-
203	GA OFFICE	CPT-1	RB-1	PT-1	PT-1	PT-1	PT-1	-	-	PT-2	EXIST	1
204	EX. TLT	EXIST	PT-2	PT-1	PT-1	PT-1	PT-1	-	-	PT-2	EXIST	-
205	CONFERENCE ROOM	CPT-1	RB-1	MBPT-1	PT-1	PT-1	PT-1	-	-	PT-2	EXIST	1
205A	WORKROOM	EXIST	PT-2	PT-1	PT-1	PT-1	PT-1	EXIST	PL-1	PT-2	EXIST	-
206	ADMIN OFFICE	EXIST	PT-2	PT-1	PT-1	PT-1	PT-1	-	-	PT-2	EXIST	-
207	HEAD COACH OFFICE	EXIST	PT-2	MBPT-2	PT-1	PT-1	PT-1	-	-	PT-2	EXIST	-
207A	CLOSET	CPT-1	RB-1	PT-1	PT-1	PT-1	PT-1	-	-	EXIST	1	-
208	OFFICE	EXIST	PT-2	PT-1	PT-1	PT-1	PT-1	-	-	PT-2	EXIST	-
209	OFFICE	EXIST	PT-2	PT-1	PT-1	PT-1	PT-1	-	-	PT-2	EXIST	-
210	OFFICE	EXIST	PT-2	PT-1	PT-1	PT-1	PT-1	-	-	PT-2	EXIST	-
210A	EX. CL.	EXIST	PT-2	PT-1	PT-1	PT-1	PT-1	-	-	PT-2	EXIST	-
211	EX. CL.	CPT-1	RB-1	PT-1	PT-1	PT-1	PT-1	-	-	PT-2	EXIST	1
212	KITCHENETTE	EXIST	PT-2	PT-1	PT-1	PT-1	PT-1	EXIST	Q-1	PT-2	EXIST	1

**NOTES TO FINISH SCHEDULE**

1. REFER TO BASE BID AND ALTERNATE NO. 1 UNDER SCOPE OR WORK ON SHEET T1.1

**FINISH NOTES**

- A. FLOORING AND BASE
  1. ALL FLOORING SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS REGARDING ADHESIVES, SEAMING, DIRECTION, ETC.
- B. WALL/CEILING FINISHES
  1. ALL PAINT COLORS SHALL BE REVIEWED AND VERIFIED WITH THE ARCHITECT AND OWNER ON SITE PRIOR TO PAINTING. CONTRACTOR SHALL COORDINATE SITE MEETING TO REVIEW PAINTED PORTIONS OF WALLS WITH ALL COLORS IN SCHEDULE, PROVIDE MINIMUM 4x4 AREA FOR REVIEW.

**FINISH LEGEND**

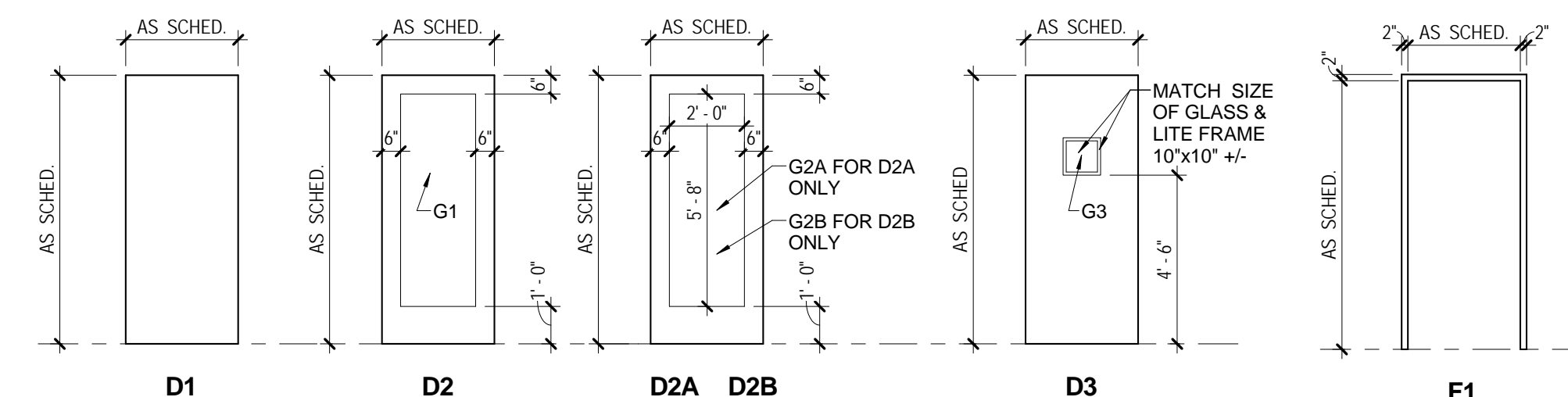
WALL BASE	
RB-1	4" HIGH RUBBER BASE
POPPE	P100 BLACK
FLOORS	
CPT-1	CARPET
KARASTAN	"PIN SCRIBBED 11" KC158, COLOR 989 ARMOR
DOOR & FRAMES	
PT-2	DOOR FRAME PAINT
SHERWIN WILLIAMS	COLOR SW6258 TRICORN BLACK, SEMI-GLOSS
PT-2A	DOOR PAINT
SHERWIN WILLIAMS	COLOR SW6258 TRICORN BLACK, SATIN
WALLS	
PT-1	WALL PAINT
SHERWIN WILLIAMS	COLOR SW7657 TINSMITH, EG-SHEL
PT-2	WALL BASE PAINT
SHERWIN WILLIAMS	COLOR SW6258 TRICORN BLACK, SEMI-GLOSS
MBPT-1	MARKER BD FINISH / PAINT
WOLF GORDON "WINK"	MARKER BOARD CLEAR FINISH ON G 7534106
MBPT-2	MARKER BD FINISH / PAINT
WOLF GORDON "WINK"	MARKER BOARD CLEAR FINISH ON SHERWIN WILLIAMS SW 6307 FINE WINE
VWC-1	VINYL WALL COVERING
EYKON	WANDERLUST, COLOR SG2295
MILLWORK	
PL-1	PLAS. LAM. COUNTERTOP BACKSPLASH, SIDESPLASH
WILSONART	GALACTIC BLACK #4799K-07
Q-1	QUARTZ COUNTERTOP BACKSPLASH, SIDESPLASH
CAMBRIA QUARTZ	EDINBUROUGH, .3CM (ALTERNATE NO. 1)
REFER TO BASE BID AND ALTERNATE NO. 1 UNDER SCOPE OR WORK ON SHEET T1.1	

**GLASS TYPES**

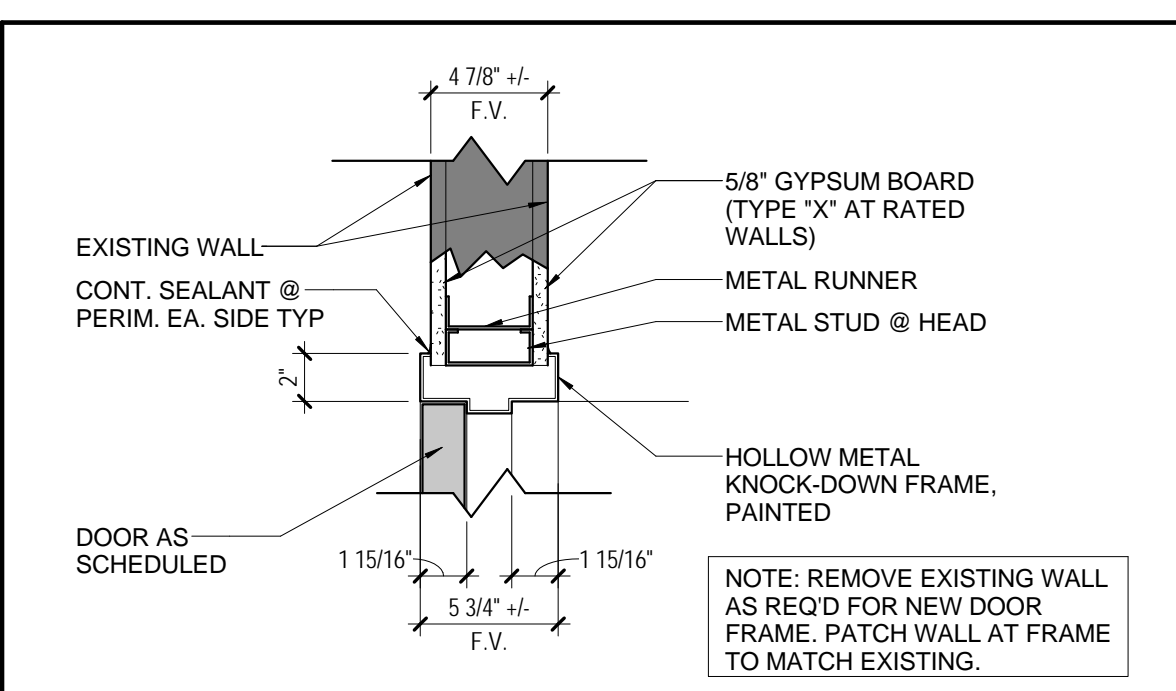
- G1 1/4" CLEAR TEMPERED GLASS (NO DECAL / LOGO)
- G2A 1/4" CLEAR TEMPERED GLASS w/ TRANSLUCENT DECAL COLOR 1 (w CLEAR GAMECOCK CUT-OUT)
- G2B 1/4" CLEAR TEMPERED GLASS w/ TRANSLUCENT DECAL COLOR 1 (w TRANSLUCENT COLOR 2 GAMECOCK CUT-OUT)
- G3 1/4" 45 MIN NON-WIRED SAFETY GLASS (FIRE-LITE PLUS OR EQUAL)

**NOTES TO DOOR SCHEDULE**

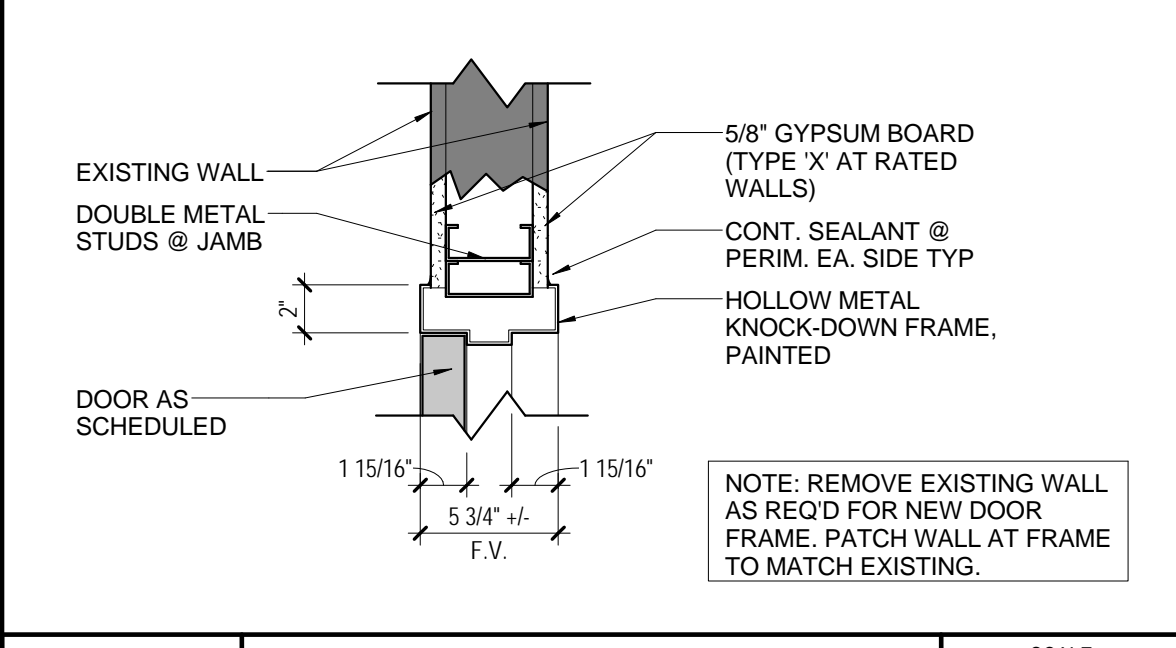
1. PAINT STAIR SIDE OF DOOR & PAINT FRAME TO MATCH EXISTING DOOR FRAME; PAINT CORRIDOR 202 SIDE OF DOOR & FRAME PT-2. PREPARE DOOR FRAME PRIOR TO REPAINTING
2. RE-USE EXISTING DOOR HARDWARE FROM DOOR 201B OR 211
3. FIELD VERIFY EXISTING FRAME OPENING FOR NEW DOOR REPLACEMENT
4. EXISTING DOOR REMOVED. INDICATED DOOR SIZE IS NEW OR EXISTING CASED OPENING SIZE
5. MAXIMIZE OPENING OF NEW CASED OPENING. PROTECT EXISTING WOOD FLOOR.
6. PAINT EXISTING DOOR FRAME, PT-2. PREPARE FRAME PRIOR TO REPAINTING.



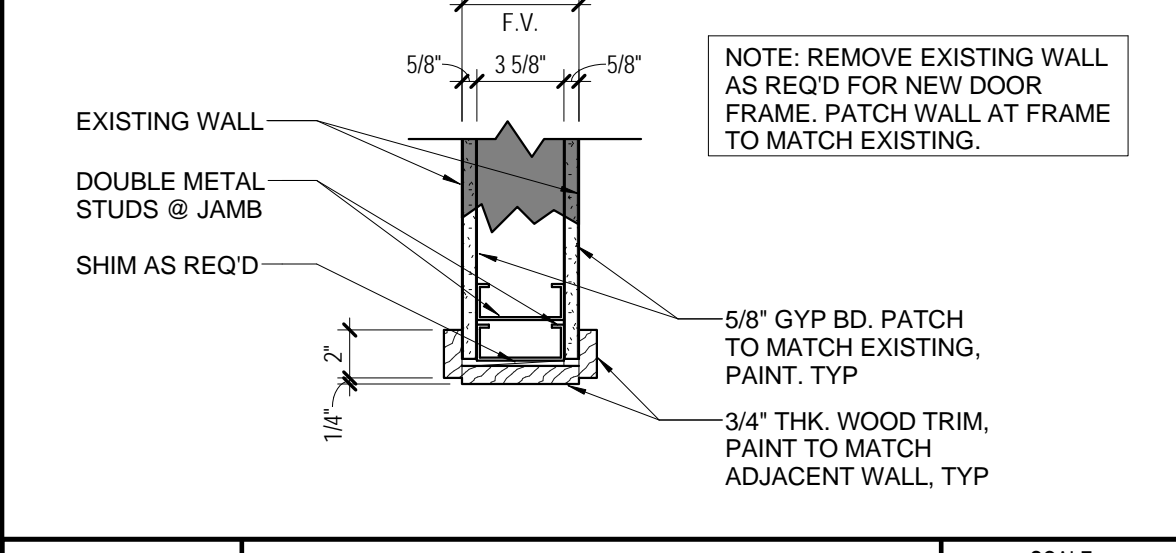
**DOOR TYPES** SCALE: 1/4" = 1'-0"  
**FRAME TYPE** SCALE: 1/4" = 1'-0"



**HG2 HEAD DETAIL** SCALE: 1-1/2" = 1'-0"



**JG2 JAMB DETAIL** SCALE: 1-1/2" = 1'-0"



**HG1 JAMB DETAIL** SCALE: 1-1/2" = 1'-0"  
**JG1 JAMB DETAIL** SCALE: 1-1/2" = 1'-0"